

7/28/2023 10:30:18 AM

OWNERSHIP

MAIN STREET APTS

SALT LAKE CITY, UTAH

aeurbia
architects and engineers
909 West South Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 - fax: 801.575.6456
webpage: aeurbia.com

ARCHITECT & STRUCTURAL ENGINEER

aeurbia
architects and engineers
909 West South Jordan Parkway
south jordan , utah 84095
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webpage: aeurbia.com

GENERAL CONTRACTOR



MECHANICAL ENGINEER

ELECTRICAL ENGINEER

CIVIL ENGINEER

CIR | CIVIL ENGINEERING
+ SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102, SOUTH JORDAN, UT 84095
Phone: 435-503-7641

LANDSCAPE ARCHITECT

ZONING FB-UN2 ZONE
PROJECT BOUNDARY 81,001 SF (1.86 ACRES)
BUILDING HEIGHT (TABLE 21A.27.050.C)
ALLOWED 50'
PROPOSED 50'-0"

SETBACKS (TABLE 21A.27.050.C)
FRONT 0' MIN - 10' MAX
BUILD TO 50% SHALL BE BUILT TO MIN. SETBACK
INTERIOR SIDE YARD 15' (ADJACENT TO R-1-5000 ZONE)
REAR YARD 20' (ADJACENT TO R-1-5000 ZONE)

EXTERIOR FINISH MATERIALS
BRICK / TRIM BRICK
HORIZONTAL FIBER CEMENT SIDING (PAINTED OR PRE-FINISHED)
VERTICAL FIBER CEMENT SIDING (PAINTED OR PRE-FINISHED)
FASCIA PANEL (SYNTHETIC WOOD OR METAL)
EXPOSED CONCRETE (NATURAL)

NOTE: 70% OF THE EXTERIOR MATERIALS ON STREET-FACING FACADES SHALL BE OF DURABLE MATERIALS

DENSITY
130 UNITS / ACRE

BUILDING DATA
2 LEVELS CONCRETE (STRUCTURED PARKING - TYPE I CONSTRUCTION)
1 LEVEL STEEL- OR FR- FRAMED HOUSING (TYPE I CONSTRUCTION)
3 LEVELS WOOD-FRAMED HOUSING (TYPE III CONSTRUCTION)

HOUSING UNIT MIX		
1-BR	570 SF AVG.	151 UNITS
2-BR	882 SF AVG.	25 UNITS
STUDIO	440 SF AVG.	65 UNITS
TOTAL		241 UNITS

COMMERCIAL SPACE (SOUTH BUILDING)
TOTAL 1,143 SF

PARKING (SOUTH BUILDING)
REQUIRED (TABLE 21A.44.030)
HOUSING NO MINIMUM
RETAIL/RESTAURANT/OFFICE NO MINIMUM

PROVIDED
P2 LEVEL 109 STALLS
P1 LEVEL 123 STALLS

TOTAL	232 STALLS
ADA STALLS	7 STALLS
BV STALLS	11 STALLS
BIKE	13 STALLS
LOADING	1 SHORT STALL

AREA CALCULATIONS, PARKING STALL COUNTS, UNIT COUNTS AND SIZES ARE SUBJECT TO CHANGE AFTER ACCOUNTING FOR
• JURISDICTION REQUIREMENTS
• SECONDARY BUILDING SPACES (MECH. ELEC. TELECOMM. JANITOR, ETC.)
• UTILITY REQUIREMENTS (GAS & ELEC METERS, GENERATOR ROOM, ETC.)

DESIGN STANDARDS (21A.27.030B)
MAXIMUM BUILDING LENGTH 200'
STEPBACK REQUIREMENT 15' SETBACK ABOVE 30' ADJACENT TO RESIDENTIAL ZONES
GLAZING REQUIRED 15% AT ALL LEVELS
GROUND FLOOR TRANSPARENCY 60%
BUILDING MATERIALS 70% OF FACADE MUST BE DURABLE MATERIALS
BRICK - WOOD LAP SIDING - FIBER CEMENT SIDING - GLASS
OPEN SPACE REQUIREMENT 10% OF THE LOT MUST BE OPEN SPACE
BUILDING FENESTRATION MAX. 30' UNINTERRUPTED WALL
RESIDENTIAL BALCONIES BALCONIES MUST BE 4' DEEP MIN.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

7/28/2023 10:30:18 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

Revision Schedule
DESCRIPTION Revision Date
MARK

AE2022.395

COVER

DATE: 7/28/2023
10:30:18 AM

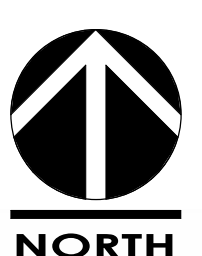
SHEET #:

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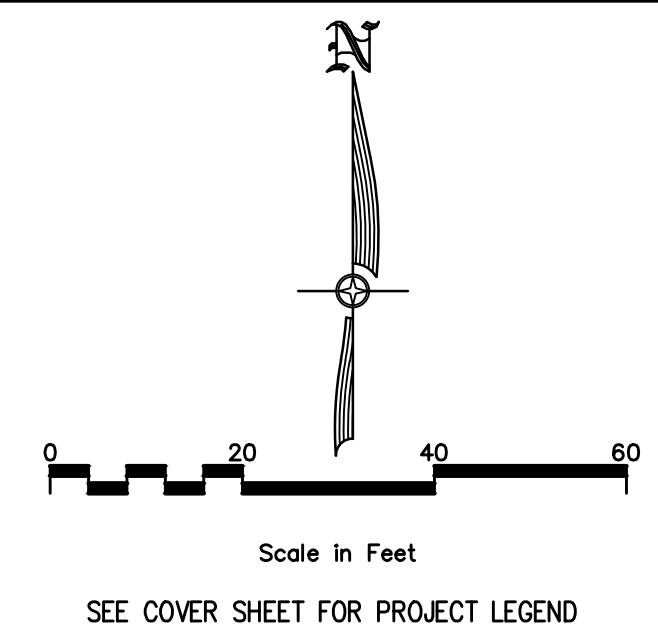
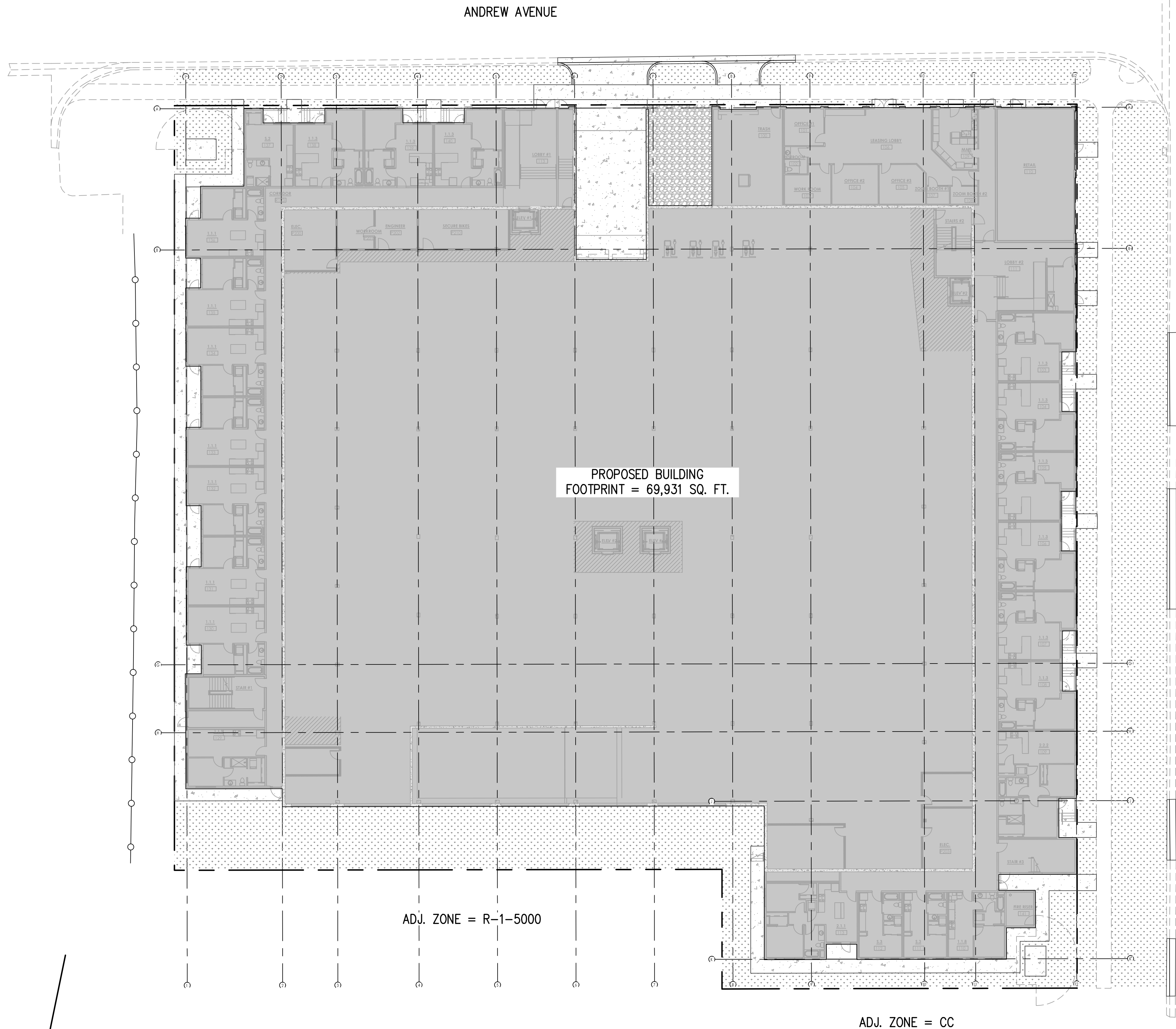
VICINITY MAP



PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

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C:\Users\michael@aeurbia.com\Documents\AE2022.395 Main St Apartments\michael.com.dwg



NO.	REVISIONS	BY	DATE

DESIGNER: SDT
PROJECT ENGINEER: SDT

**CIVIL ENGINEERING
+ SURVEYING**

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-5296

SLC MAIN STREET APARTMENTS
ANDREW AVE. & MAIN STREET, SALT LAKE CITY, UTAH

SITE LAYOUT

NOT FOR
CONSTRUCTION

SHEET NO.	EXH
PROJECT ID	E23-037
DATE	07/12/23
FILE NAME	PRJ-MSA
SCALE	1"=20'



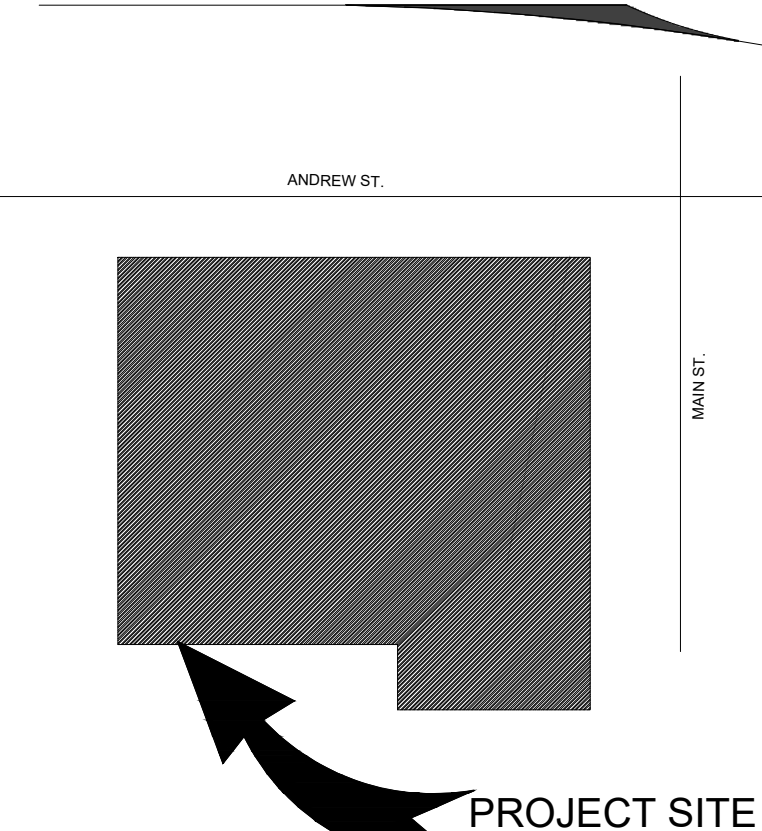
PLANT LEGEND (NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

CONIFERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	JSM	1	Juniperus scopulorum 'Moonglow' Moonglow Juniper Tc2, 18x8; AV 20; sun; z3; Utah Lake water tolerant	B & B		6'
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	AGF	5	Acer griseum 'Fireburst' Fireburst Paperbark Maple moderate; 25x18; sun to part shade; z5	B & B		2"Cal
	AAO	11	Amelanchier alnifolia 'Obelisk' TM Standing Ovation Serviceberry T2; 15x4; AV 50; sun to part shade; z2; Utah Lake water tolerant	B & B		1.25"Cal
	GBP	7	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo T2; 50x15; AV 70; sun; z4; Utah Lake water tolerant	B & B		2"Cal
	MPR	4	Malus x 'Prairie Rose' Prairie Rose Crabapple low; 20x18; sun; z4; Utah Lake water tolerant	B & B		2"Cal
	QUP	3	Quercus macrocarpa 'Urban Pinnacle' Urban Pinnacle Oak T3; 55x25; AV 125; sun; z3; Utah Lake water tolerant	B & B		2"Cal
	UPL	4	Ulmus parvifolia 'Emer II' Alice Lacebark Elm T3; 50x35; AV 40; sun; z4; Utah Lake water tolerant	B & B		2"Cal
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	AMG	28	Aronia melanocarpa 'Ground Hog' Ground Hug Spreading Chokeberry Sd3; 14"x30"; AV 28; sun to part shade; z3; Utah Lake water tolerant	5 gal		
	CBM	7	Caryopteris x clandonensis 'CT-9-12' TM Beyond Midnight Bluebeard Sd2; 2.5x2.5; AV 12.5; sun; z5	5 gal		
	CMF	46	Chamaebatiaria millefolium Fernbush Sd0; 4x3; AV 7; sun to part sun; z4; Utah Lake water tolerant	5 gal		
	HFK	31	Hibiscus syriacus 'SHMR38' TM LP Kim Red Rose of Sharon Sd1; 3x3; AV 90; full to part sun; z5; Utah Lake water tolerant	5 gal		
	PWB	25	Physocarpus opulifolius 'SMNPMS' Summer Wine® Black Ninebark Sd2; 5x5; AV 28; sun to light shade	5 gal		
	PBP	24	Prunus besseyi 'TW15' TM Pawnee Bats® Sand Cherry Sd1; 1.5 x 6; AV 19.5; sun; z4;	5 gal		
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	HPP	44	Hesperaloe parviflora 'Perpa' TM Beaklights Red Yucca P1; 2x2; AV 7; sun; z5; Utah Lake water tolerant	5 gal		
	JHT	21	Juniperus horizontalis 'Mombi' TM Ice Blue Juniper GV1; 4" x 8"; AV 50; sun; z3; Utah Lake water tolerant	5 gal		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	CBK	43	Calamagrostis brachytricha Korean Feather Reed Grass Tw2; 2x3; AV 3; sun to part shade; Utah Lake water tolerant	1 gal		
	MML	3	Miscanthus sinensis 'Morning Light' Morning Light Maiden Grass Tw2; 3x4; AV 32; sun to light shade; z5; Utah Lake water tolerant	2 gal		
	PVS	75	Panicum virgatum 'Shenandoah' Shenandoah Switch Grass Tw2; 4x2.3; AV 3; sun; z4; Utah Lake water tolerant	1 gal		
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	GWB	71	Gaura lindheimeri 'Whirling Butterflies' Whirling Butterflies Wandlflower P1; 3x2.5; AV 4.5; sun z5; Utah Lake water tolerant	1 gal		
	HSD	53	Hemerocallis x 'Stella de Oro' Stella de Oro Daylily P3; 2x2; AV 1; full to part sun; z3; Utah Lake water tolerant	1 gal		

SITE MATERIALS LEGEND (NOTE: SITE MATERIALS QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN CASE OF DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.)

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	1" MINUS GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL WHERE PLANTING IS SPARSE. ADDITIONAL TOPSOIL IS NOT NECESSARY. PREPARE A HOLE TWICE THE WIDTH OF THE CONTAINER. WATER IN PLANT. BACKFILL WITH A 3:1 RATIO OF SOIL TO COMPOST. TAMP LIGHTLY AND WATER AGAIN. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK AWAY FROM TOP OF ROOT BALL OF ALL PLANT MATERIAL. IF REQUIRED BY CITY, INSTALL DEWITT 30Z WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1 FOOT AWAY FROM EDGE OF ROOT BALL OF ALL PLANT MATERIAL. IF WEED BARRIER IS NOT REQUIRED OR INSTALLED, AT OWNER'S APPROVAL, USE TREFLAN 10 AS A PRE-EMERGENT. APPLY ACCORDING TO LABEL DIRECTIONS AFTER PLANTING. AND AFTER APPLYING MULCH THIS AREA WILL ALSO NEED AN ANNUAL MAINTENANCE PROGRAM. SUBMIT PROGRAM TO OWNER.	15,170 sf
	BOULDERS - DECORATIVE-DARK CHARCOAL	145

VICINITY MAP



PROPOSED BUILDING FOOTPRINT = 69,931 SQ. FT.

ADJ. ZONE = R-1-5000

ADJ. ZONE = CC

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
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7/25/2023	UT23046						
NO.	REVISION	DATE					
1	XXXX	XX-XX-XX					
2							
3							
4							
5							
6							
7							

811 BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

MAIN ST. APARTMENTS

ANDREW ST. & MAIN ST.

SALT LAKE CITY, UTAH

AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

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PKJ DESIGN GROUP

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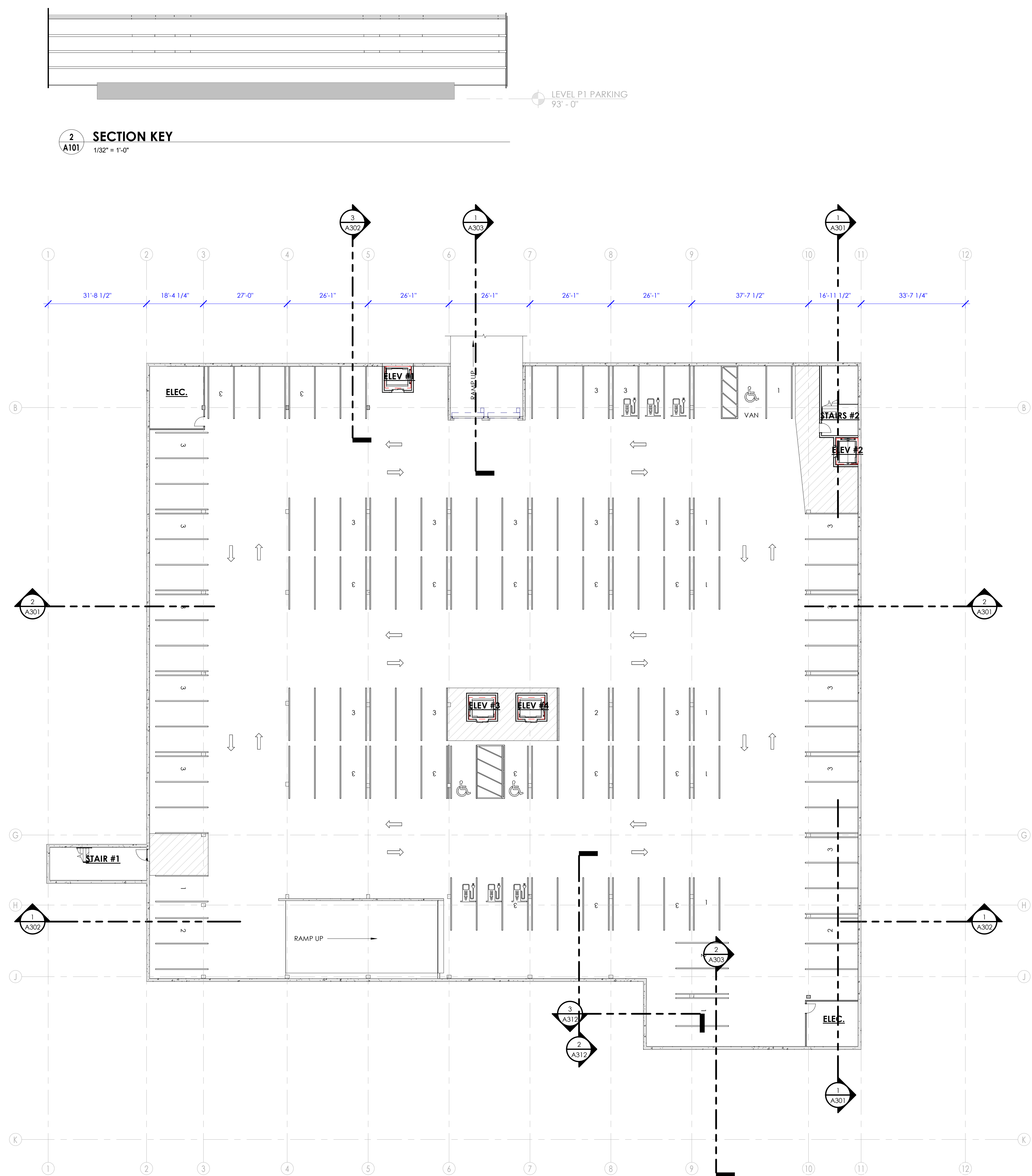
PKJ DESIGN GROUP
Landscape Architecture / Planning & Visualization

3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkjdesigngroup.com

COLOR ILLUSTRATION
CITY PERMIT SET
LP-COLOR

PM: JTA
DRAWN: SAV
CHECKED: JMA
PLOT DATE: 7/25/2023

7/28/2023 9:09:11 AM



2 SECTION KEY
1/32" = 1'-0"

1 LEVEL P1 PARKING - OVERALL RCP PLAN
1/16" = 1'-0"



UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
1.1.4	1
1.1.5	2
1.1.6	8
1.1.7	3
1.1.8	1
1.1.9	17
1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	2
S.10 TYPE A	2
Grand total:	241

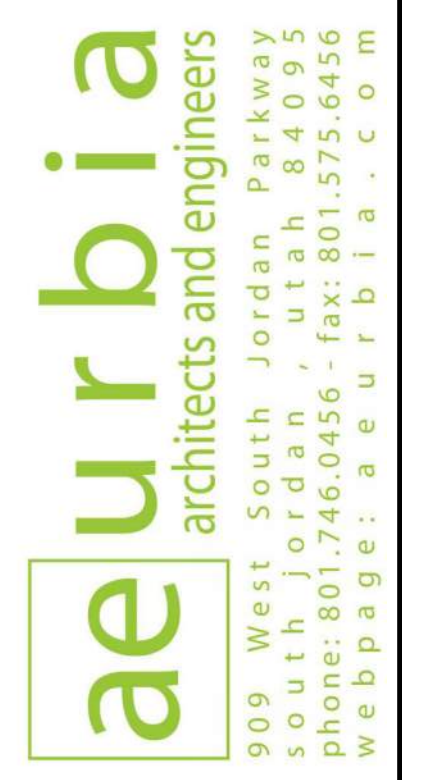
GENERAL NOTES

- ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
- DO NOT SCALE DRAWINGS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DIMENSIONS, TAKEOFFS OR CALCULATIONS BASED ON DIGITAL MEDIA. REFER TO PRINTED DIMENSIONS ONLY. DRAWINGS OF A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS. PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT W/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE "G" SHEETS. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.**
- CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR DUTIES AND TRADES IN A MANNER CONFORMING TO THE PROCEDURE REQUIREMENTS STATED IN THE 2018 INTERNATIONAL BUILDING CODE.
- CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW THE CONSTRUCTION DOCUMENTS IN THEIR ENTIRETY AND SHALL BRING ANY CONFLICTS OR REQUESTS FOR CLARIFICATION TO THE ATTENTION OF THE ARCHITECT PRIOR TO ACCEPTING A CONTRACT FOR CONSTRUCTION.
- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED OR EQUAL.

KEYNOTE LEGEND

PARKING PROVIDED

PARKING GARAGE	
LEVEL 1	120 STALLS
LEVEL 2	120 STALLS
TOTAL PARKING	240 STALLS



**PRELIMINARY
NOT FOR
CONSTRUCTION**

7/28/2023 9:09:11 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

Revision Schedule	Revision Date
DESCRIPTION	
MARK	

AE2022.395
**P1 LEVEL
FLOOR PLAN**

DATE: 7/28/2023
9:09:11 AM

SHEET #:

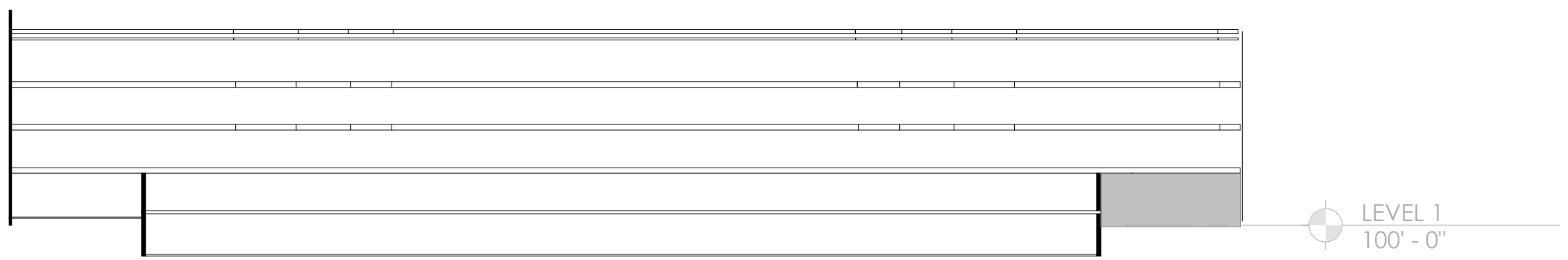
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PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

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2 SECTION KEY
A102 1/32" = 1'-0"

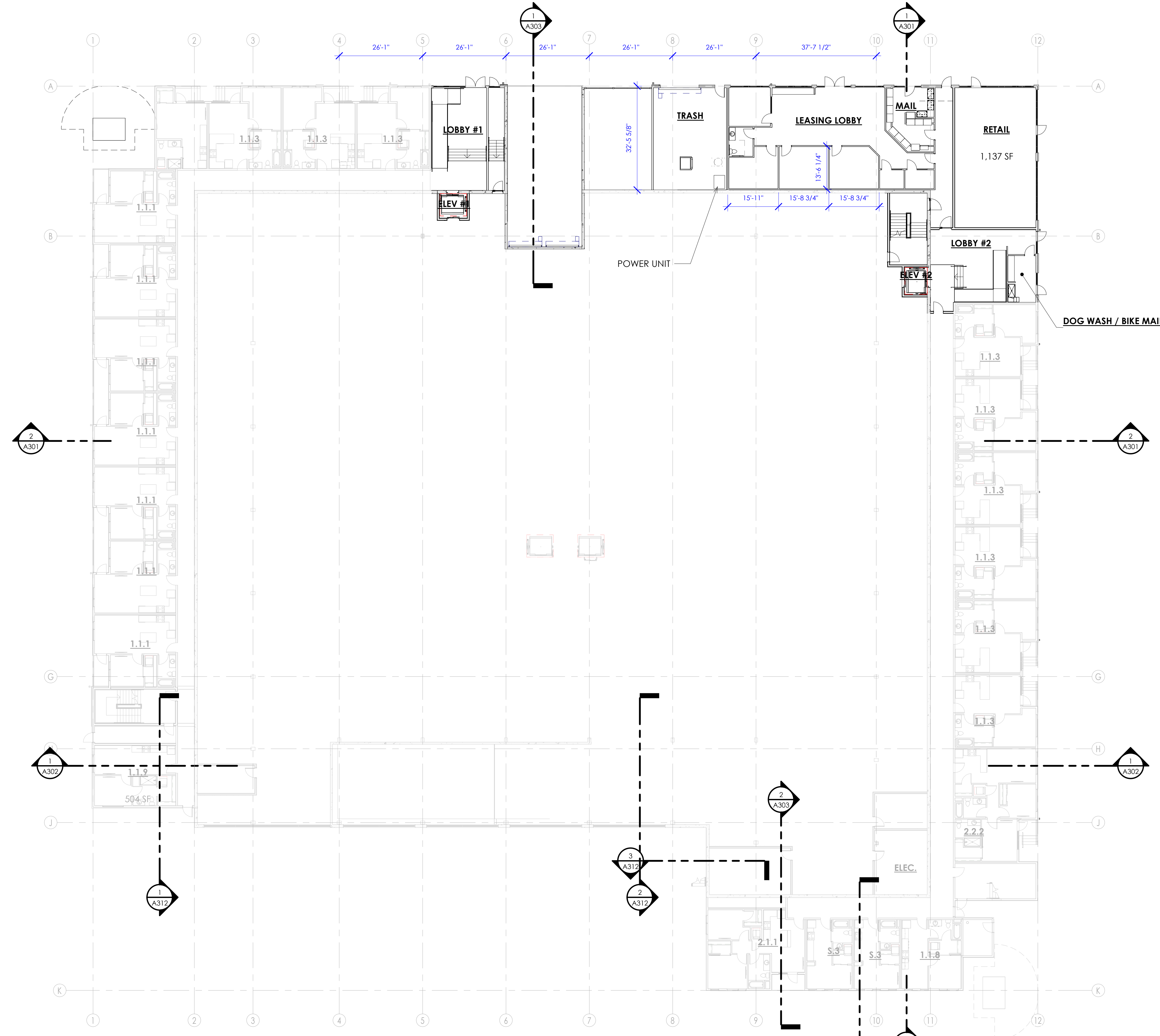
UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
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1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

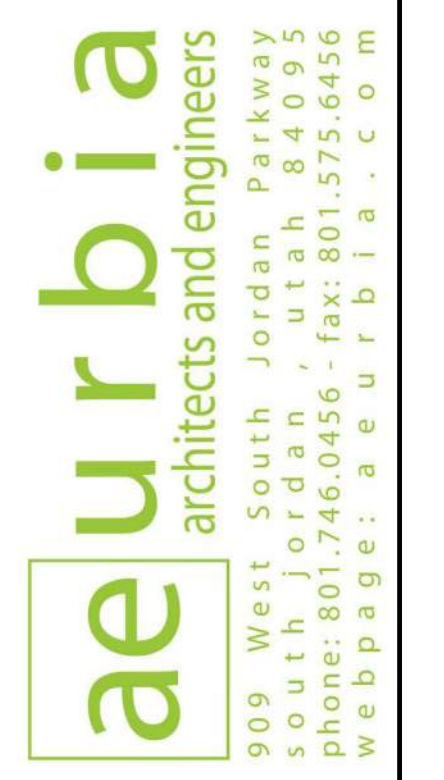
GENERAL NOTES

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KEYNOTE LEGEND



A4 LEVEL 01 FLOOR PLAN
A102 1/16" = 1'-0"



PRELIMINARY NOT FOR CONSTRUCTION

7/28/2023 9:09:16 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	DESCRIPTION	Revision Date

AE2022.395
LEVEL 01 FLOOR PLAN

DATE: 7/28/2023 9:09:16 AM

SHEET #:

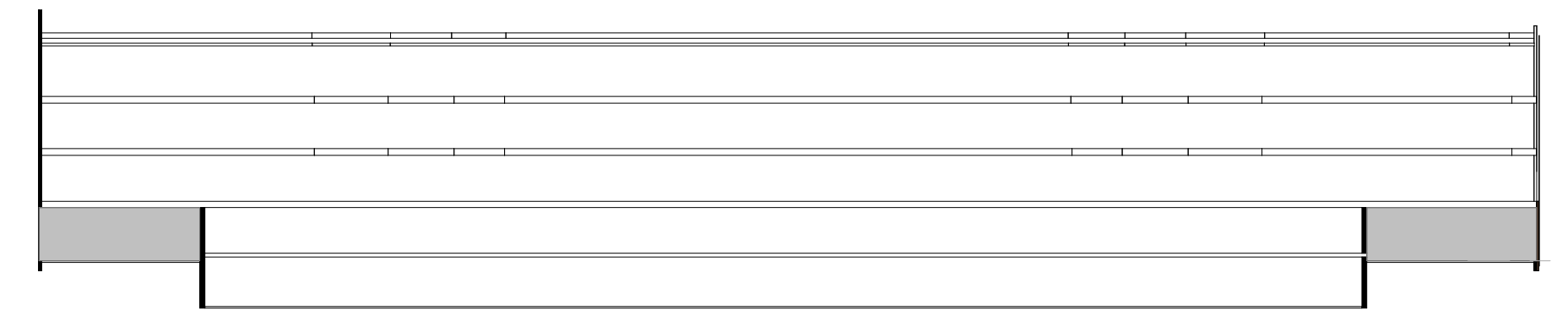
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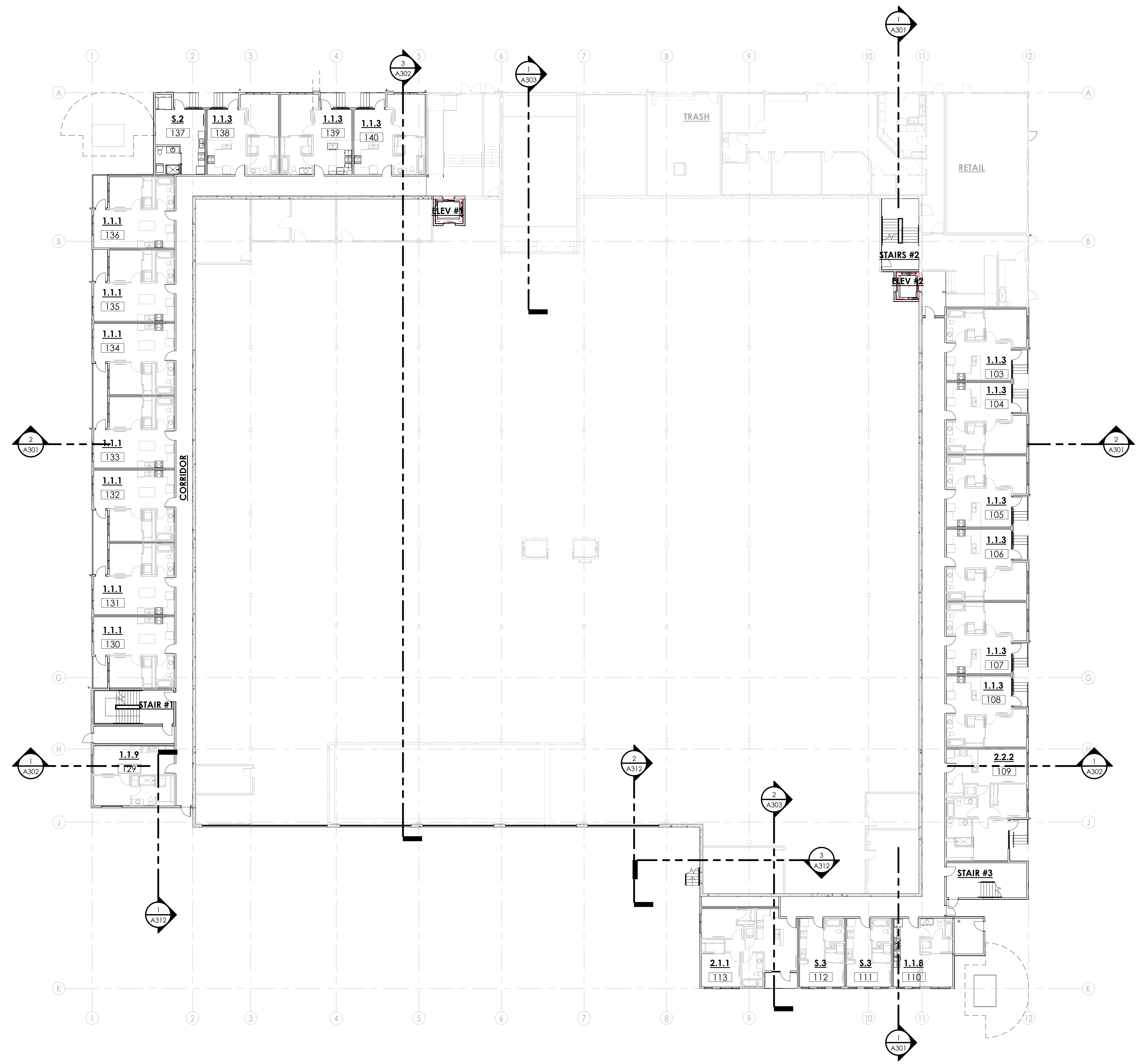


PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

7/28/2023 9:09:22 AM



2 SECTION KEY
A103 1/32" = 1'-0"



1 LEVEL 1-R
A103 1/16" = 1'-0"



UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
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1.1.14 TYPE A	3
2.1.1	3
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2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

GENERAL NOTES

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- ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED OR EQUAL.

KEYNOTE LEGEND

aeurbia
architects and engineers

909 West Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 - fax: 801.575.6456
webpage: aeurbia.com

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CONSTRUCTION**

7/28/2023 9:09:22 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	Revision Schedule	DESCRIPTION	Revision Date

AE2022.395
LEVEL 01-R
FLOOR PLAN

DATE: 7/28/2023
9:09:22 AM

SHEET #:

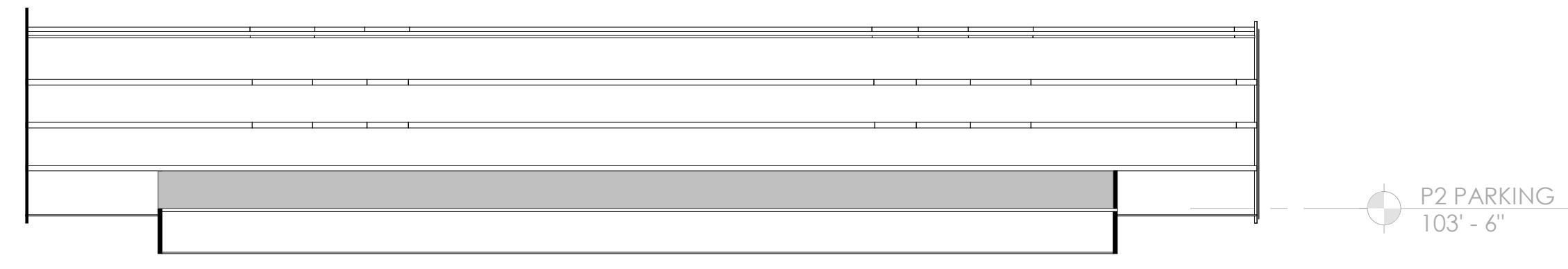
A103

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PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

7/28/2023 9:09:27 AM



2 SECTION KEY
1/32" = 1'-0"

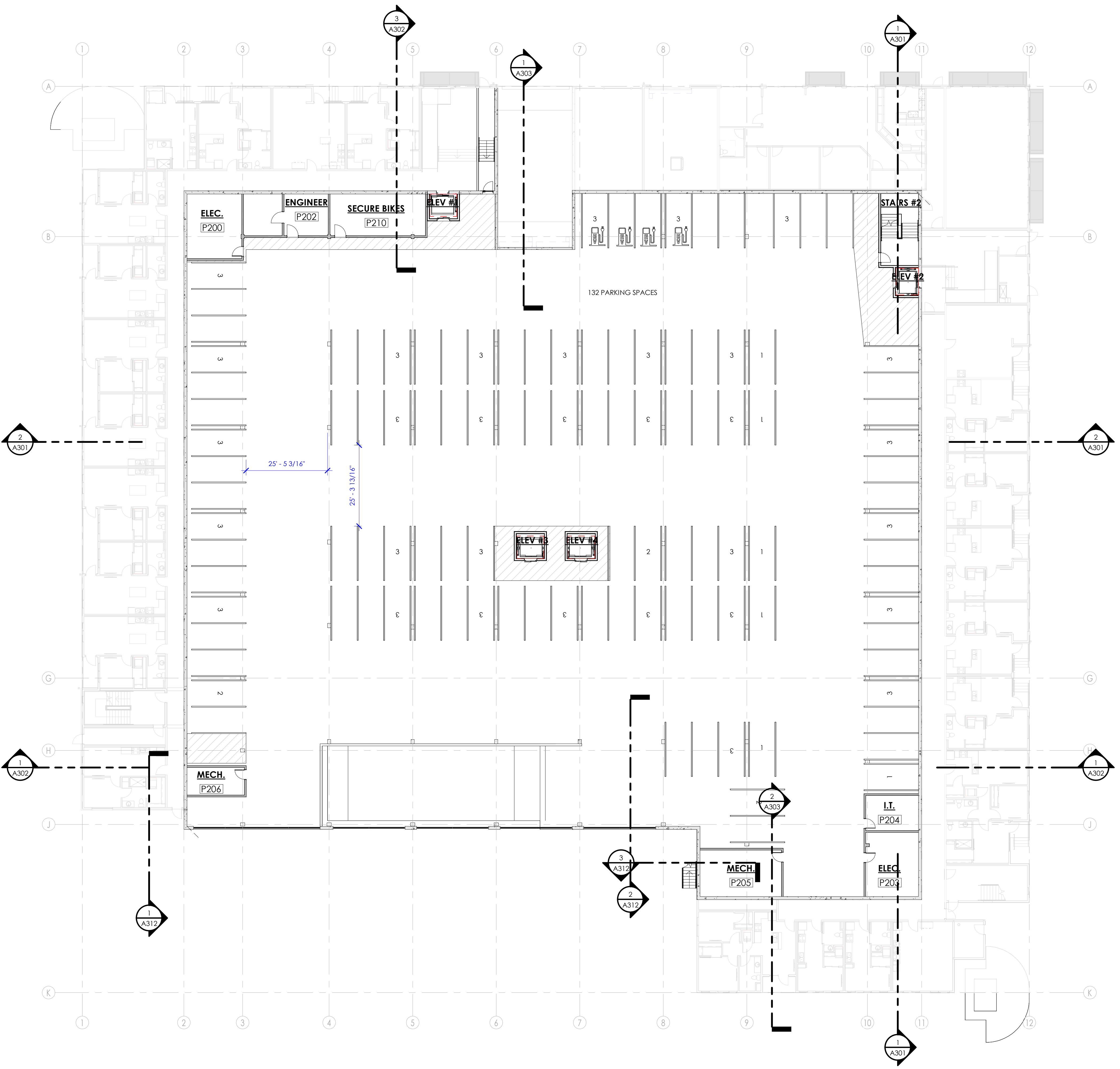
UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
1.1.4	1
1.1.5	2
1.1.6	8
1.1.7	3
1.1.8	1
1.1.9	17
1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

GENERAL NOTES

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KEYNOTE LEGEND



1 P2 PARKING
1/16" = 1'-0"



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7/28/2023 9:09:27 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	DESCRIPTION	Revision Date

AE2022.395
**P2 LEVEL
FLOOR PLAN**

DATE: 7/28/2023
9:09:27 AM

SHEET #:

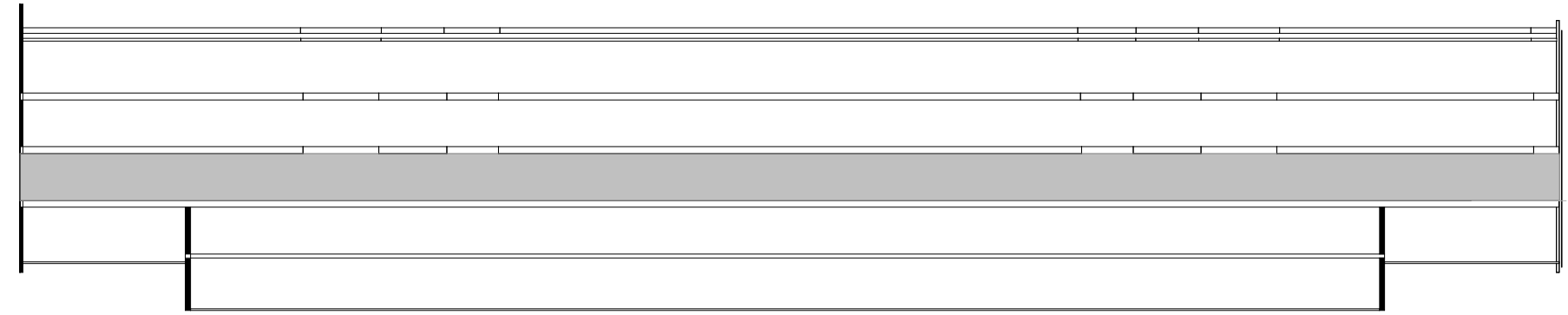
A104

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PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

7/28/2023 9:09:37 AM



2 SECTION KEY
A105
1/32" = 1'-0"

UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
1.1.4	1
1.1.5	2
1.1.6	8
1.1.7	3
1.1.8	1
1.1.9	17
1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

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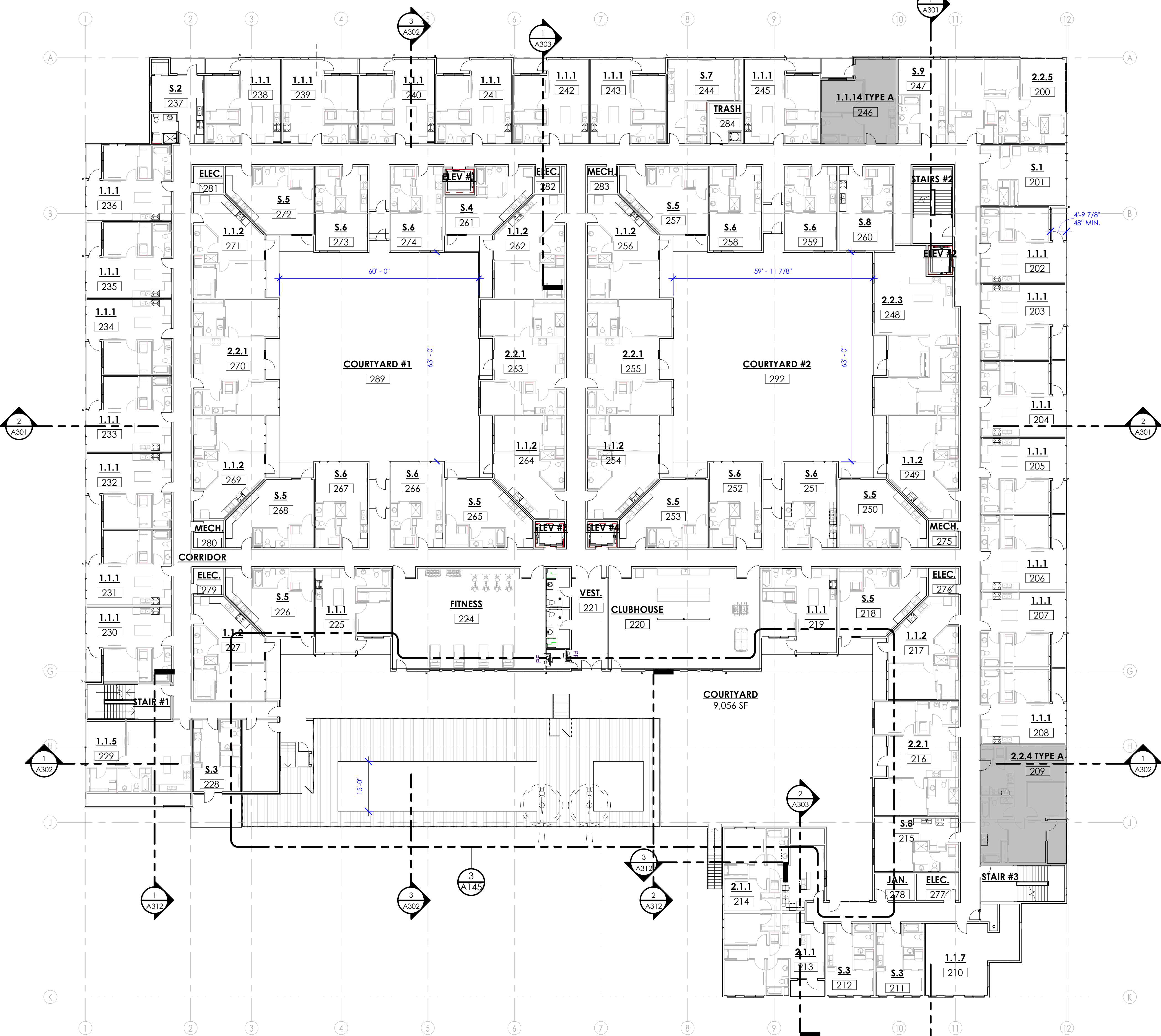
KEYNOTE LEGEND

aeurbia
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CONSTRUCTION**

7/28/2023 9:09:37 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH



1 LEVEL 02 FLOOR PLAN
A105
1/16" = 1'-0"



MARK	Revision Schedule	DESCRIPTION	Revision Date

AE2022.395
LEVEL 02
FLOOR PLAN

DATE: 7/28/2023
9:09:37 AM

SHEET #:

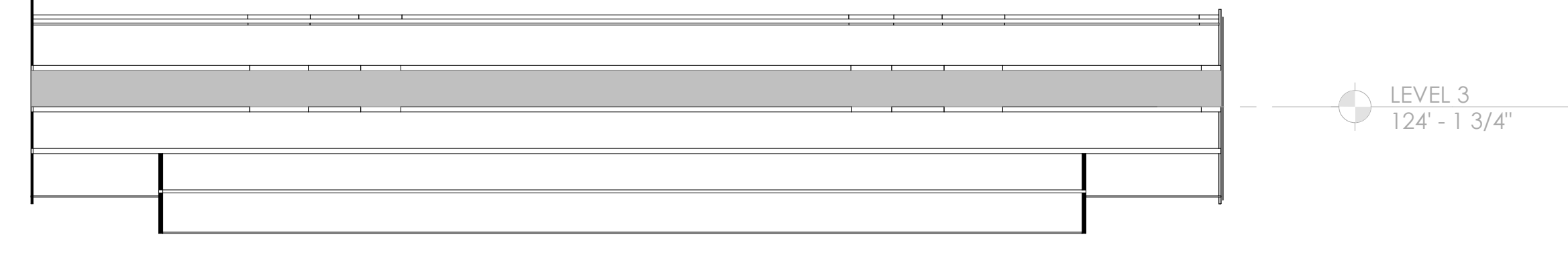
A105

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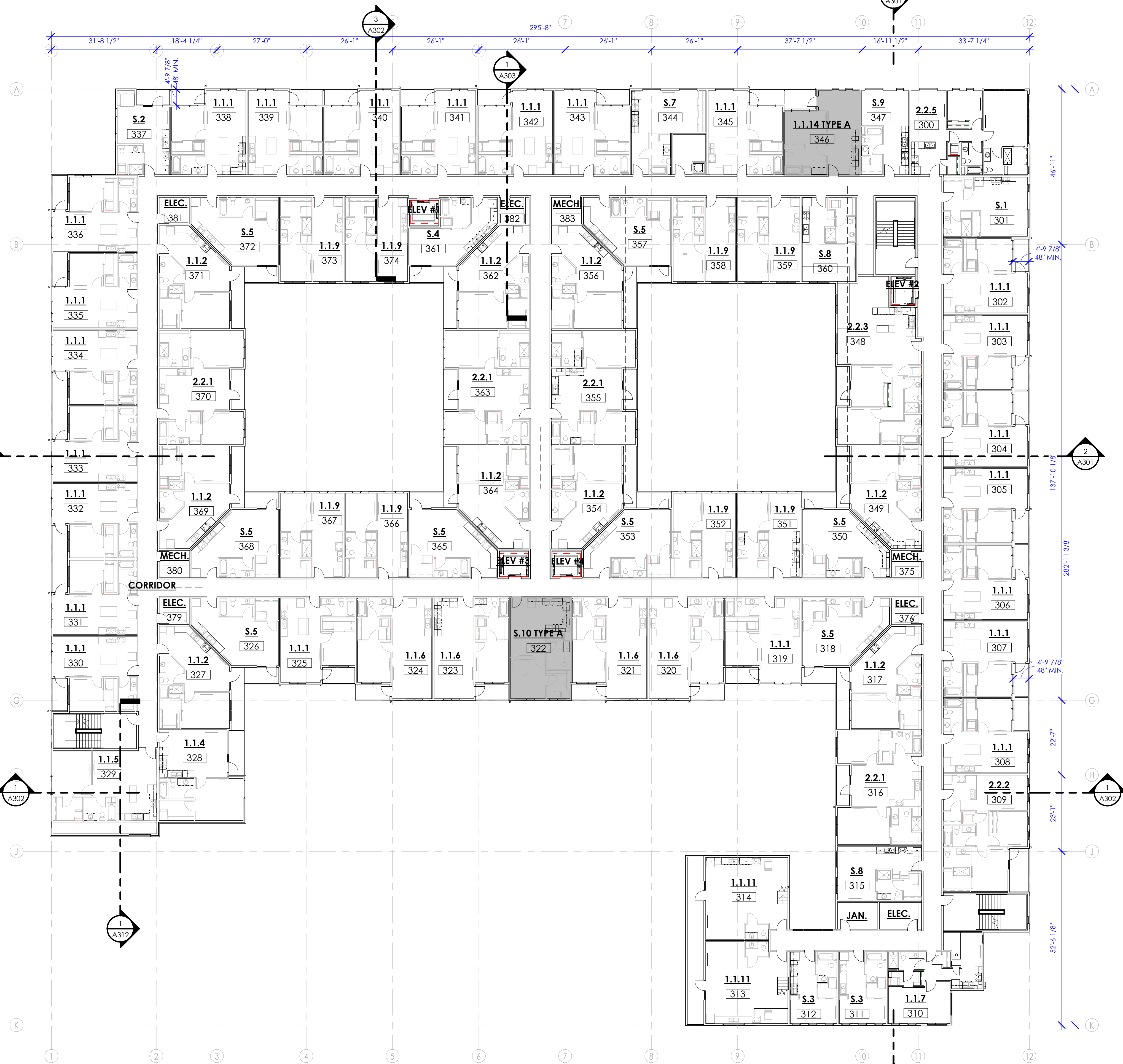


PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

7/28/2023 9:09:46 AM



2 SECTION KEY
A106 1/32" = 1'-0"



1 LEVEL 03 FLOOR PLAN
A106 1/16" = 1'-0"



UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
1.1.4	1
1.1.5	2
1.1.6	8
1.1.7	3
1.1.8	1
1.1.9	17
1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

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7/28/2023 9:09:46 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	REVISION	SCHEDULE	DATE

AE2022.395
LEVEL 03 FLOOR PLAN

DATE: 7/28/2023 9:09:46 AM

SHEET #:

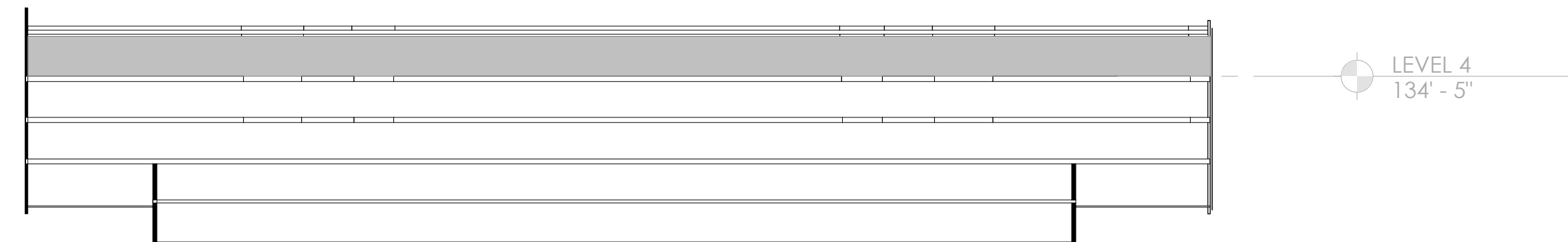
A106

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PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

7/28/2023 9:09:55 AM



2 SECTION KEY
A107 1/32" = 1'-0"

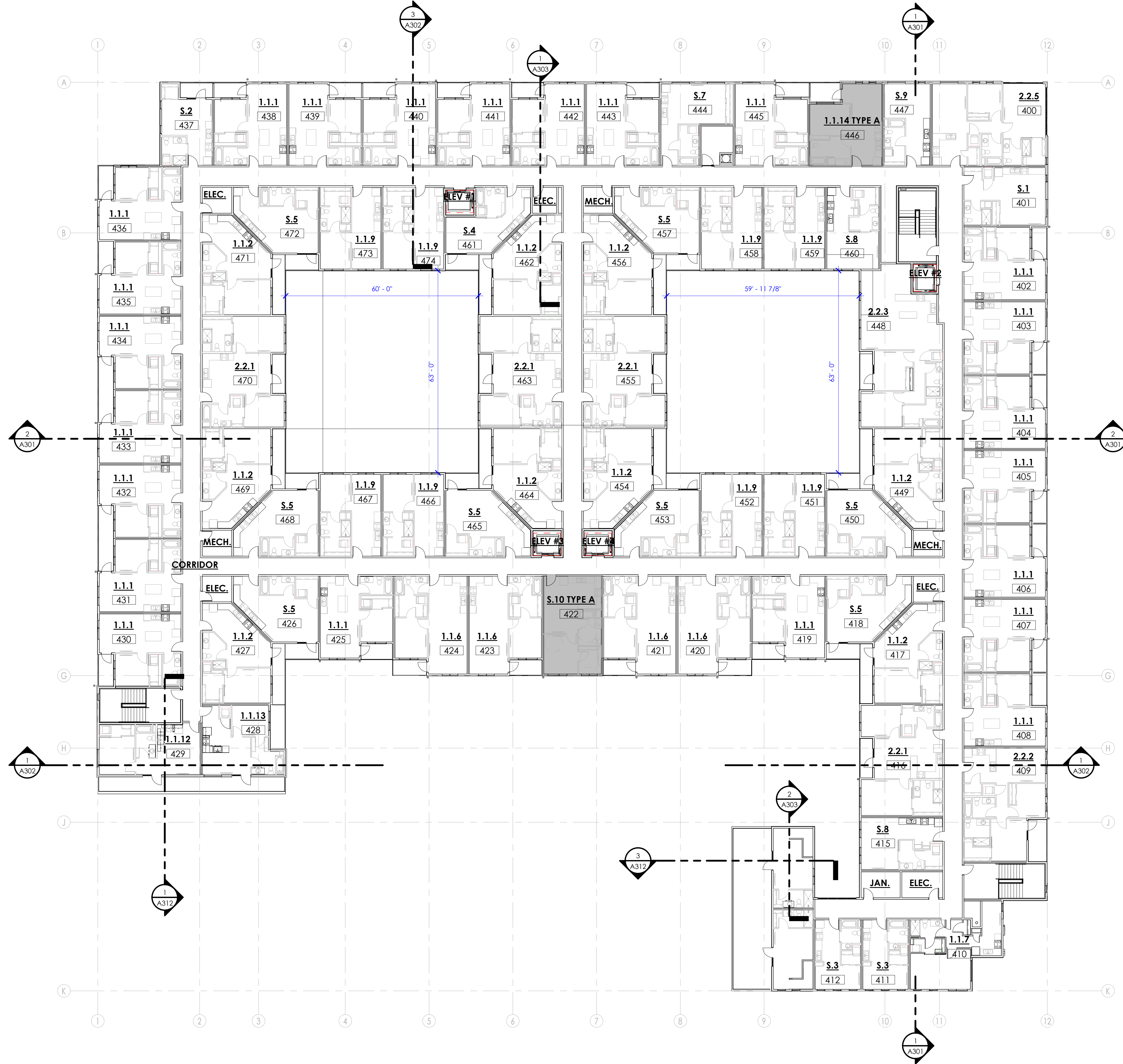
UNIT COUNT - BLDG 1

1.1.1	76
1.1.2	27
1.1.3	9
1.1.4	1
1.1.5	2
1.1.6	8
1.1.7	3
1.1.8	1
1.1.9	17
1.1.11	2
1.1.12	1
1.1.13	1
1.1.14 TYPE A	3
2.1.1	3
2.2.1	12
2.2.2	3
2.2.3	3
2.2.4 TYPE A	1
2.2.5	3
S.1	3
S.2	4
S.3	9
S.4	3
S.5	24
S.6	8
S.7	3
S.8	6
S.9	3
S.10 TYPE A	2
Grand total:	241

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KEYNOTE LEGEND



1 LEVEL 4
A107 1/16" = 1'-0"



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7/28/2023 9:09:55 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	Revision Schedule	DESCRIPTION	Revision Date

AE2022.395
LEVEL 04
FLOOR PLAN

DATE: 7/28/2023
9:09:55 AM

SHEET #:

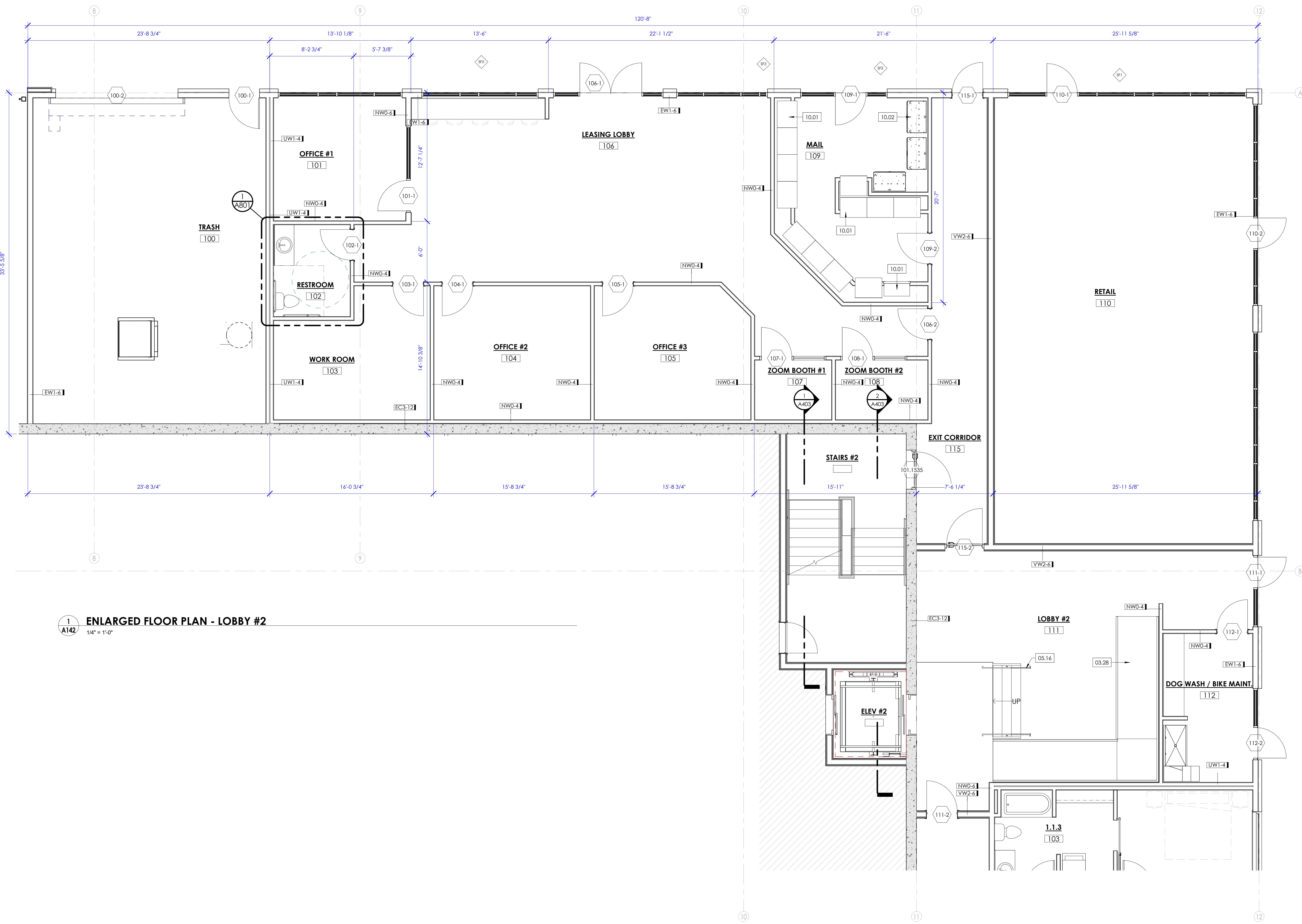
A107

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PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

7/27/2023 4:20:01 PM



1 ENLARGED FLOOR PLAN - LOBBY #2
1/4" = 1'-0"

- GENERAL NOTES**
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- KEYNOTE LEGEND**
- 03.28 NEW ADA-COMPLIANT CONCRETE RAMP - 1:12 MAX. SLOPE
 - 05.16 1 1/2" DIA. STEEL HANDRAIL AT BOTH SIDES OF STAIRS - PAINT (2 COATS) TYP.
 - 10.01 UNIT MAILBOXES IN ACCORDANCE WITH LOCAL POST OFFICE. PROVIDE ACCESSIBLE BOXES TO COMPLY WITH ADA.
 - 10.02 PARCEL DELIVERY LOCKERS

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7/27/2023 4:20:01 PM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	Revision Schedule	DESCRIPTION	Revision Date

AE2022.395
**ENLARGED
FLOOR PLAN -
LOBBY #2**

DATE: 7/27/2023
4:20:01 PM

SHEET #:

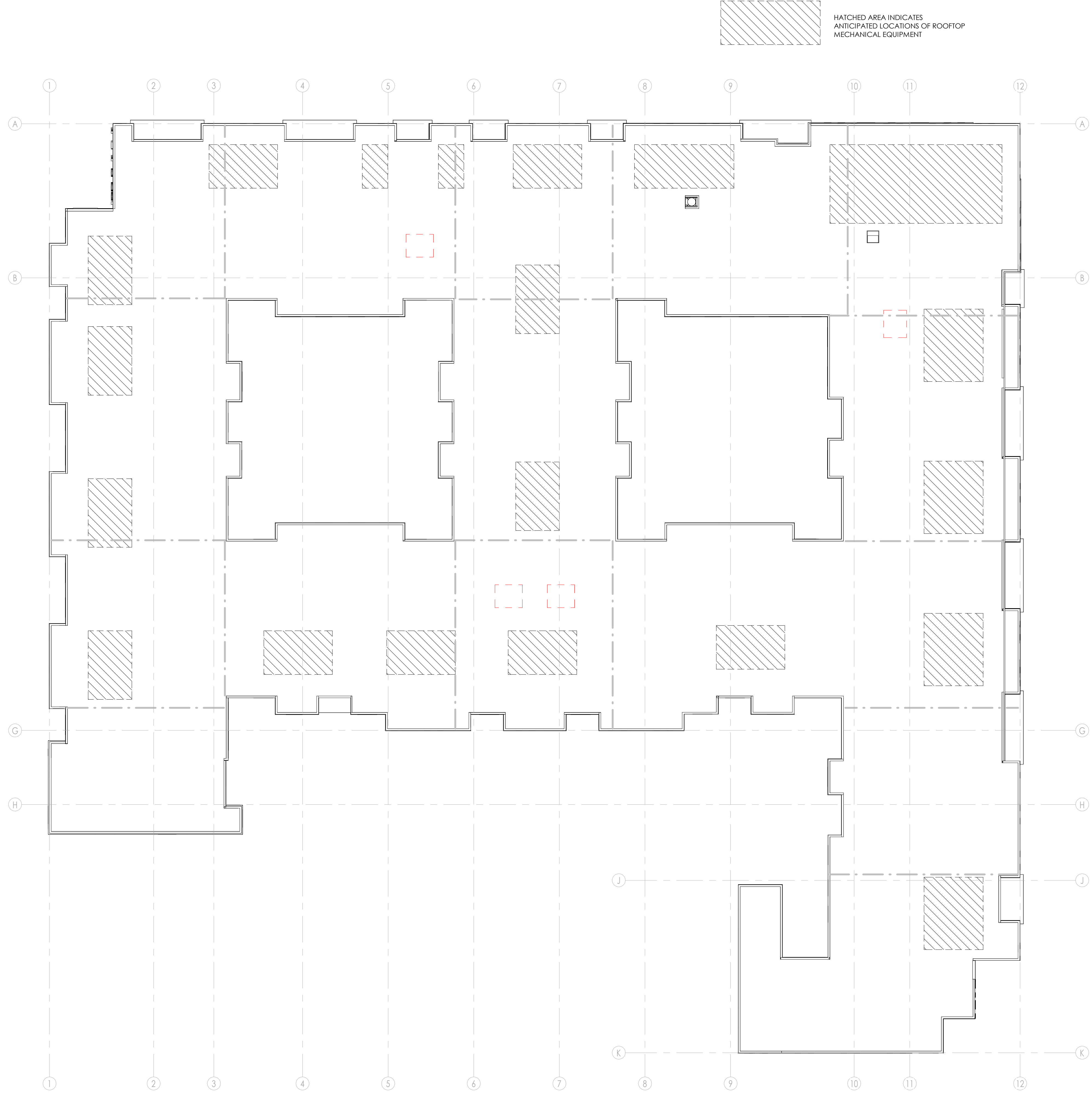
A142

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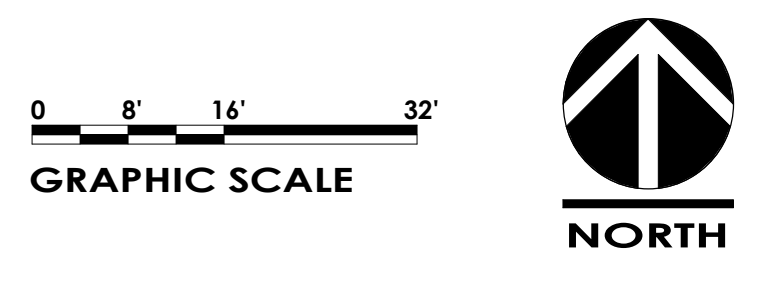


PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

7/27/2023 4:20:04 PM
C:\Users\jordan\Documents\AE2022.395 Main - A191 - roof.mxd
7/27/2023 4:20:04 PM



1 ROOF PLAN
A191
1/16" = 1'-0"



GENERAL NOTES

1. ALL MEASUREMENTS ARE FROM FACE OF STRUCTURE (WOOD CONCRETE) TO FACE OF STRUCTURE UNLESS NOTED OTHERWISE. DIMENSIONS TO EXTERIOR GRID LINES REPRESENT EXTERIOR FACE OF STRUCTURE.
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3. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS PROVIDE CAULKING AND MIN. 9" COUNTERFLASHING AT ALL EXTERIOR WINDOWS AND DOORS. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES AND EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS AND SHALL CONFORM TO MANUFACTURER'S RECOMMENDATIONS. THE FLASHING SHALL BE CORROSION-RESISTANT w/ A 1/2" DRIP EDGE ANGLE EXTENDING PAST THE FINISH EDGE. FLASHING IS REQUIRED AT THESE LOCATIONS REGARDLESS OF ITS INCLUSION IN ASSOCIATED DETAILS.
4. ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
5. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICE LOCATIONS AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
6. **ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ASSOCIATED DETAILS - SEE 'G' SHEETS. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.**
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9. ALL WOOD WHICH COMES INTO CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED OR EQUAL.

ROOFING NOTES (TYPICAL):

1. PROVIDE FULL MANUFACTURERS WARRANTY ON MATERIALS AND 5 YEAR WARRANTY MIN. ON LABOR. UNO.
2. ALL COLORS, ASSEMBLIES AND MATERIALS MUST MEET APPROVAL OF OWNER AND DESIGN PROFESSIONAL.
3. PROVIDE PRODUCT SUBMITTALS FOR PRE APPROVAL PRIOR TO ORDERING AND INSTALLATION.
4. FOR TYPICAL ROOF FLASHING DETAILS, SEE SHEET A402.
5. PROVIDE STEP FLASHING COUNTER FLASHING, DRIP EDGES AS REQD. CAULK AND SEAL. ROOFING TO EXTEND 18" MIN. UP ADJACENT WALLS AND DISCONTINUITIES TYPICAL.
6. INSTALL ROOF PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS. MANUFACTURER TO INSPECT INSTALLATION AS REQD FOR WARRANTY. PROVIDE 1/4" PER FOOT MIN. SLOPE. FOR ALL PLUMBING PENETRATIONS REFER TO DETAILS ON A402 AND PLUMBING DRAWINGS.
7. FOR MISC. ROOF DETAILS SEE A402.
8. TYPICAL MINIMUM ROOF SLOPE @ 1/4" MIN. PER FOOT ALL PLACES.
9. SEE MECHANICAL PLAN FOR ROOF MOUNTED EQUIPMENT AND CURBS, ET.

KEYNOTE LEGEND

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**MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH**

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**OVERALL
ROOF PLAN**

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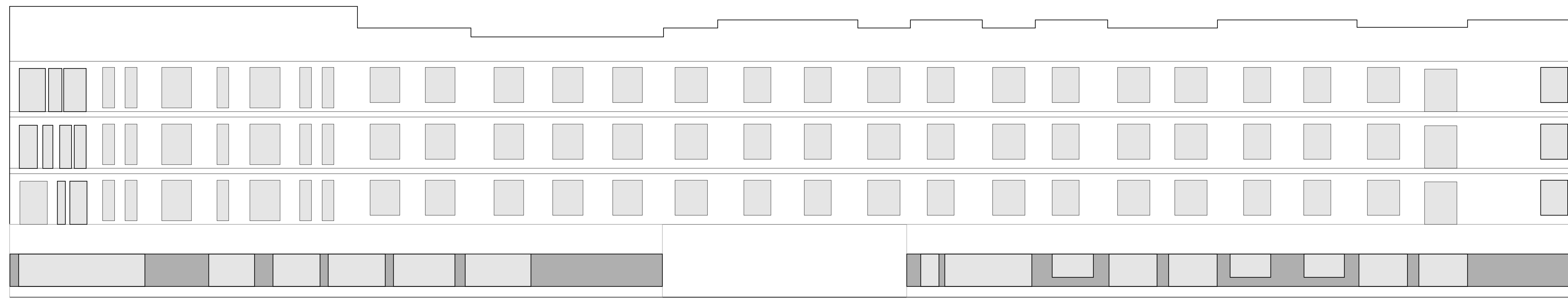
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PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

AREA OF EXTERIOR WALL: 15,110 SF
 AREA OF GLAZING: 5,294 SF = 35%
 AREA OF FIBER CEMENT SIDING: 2,761 SF = 18%
 AREA OF STUCCO: 3,559 SF = 24%
 AREA OF CONCRETE: 683 SF = 5%
 AREA OF BRICK: 2,813 SF = 18%



1 MAIN BUILDING - NORTH ELEVATION
 A201 3/32" = 1'-0"

GENERAL NOTES

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KEYNOTE LEGEND

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- 04.02 BRICK/THIN BRICK - RED/BROWN TONES
- 05.07 CANOPY/ROOF - CHARCOAL
- 05.18 METAL AWNING/CANOPY - PAINT BLACK/CHARCOAL
- 05.19 METAL PICKET FENCE & GATES AT UTILITY AREA - PAINT BLACK (2 COATS)
- 05.23 PRE-FINISHED METAL DOWNSPOUTS - CHARCOAL
- 07.30 FIBER CEMENT SIDING - VERTICAL - BLACK
- 07.32 FIBER CEMENT SIDING - HORIZONTAL - LIGHT GRAY
- 07.35 STUCCO - MEDIUM TEXTURE - LIGHT GRAY
- 07.36 FIBER CEMENT SIDING - VERTICAL - LIGHT BROWN
- 07.37 FIBER CEMENT SIDING - VERTICAL - DARK BROWN
- 07.38 FIBER CEMENT SIDING - HORIZONTAL - DARK BROWN
- 07.39 STUCCO - MEDIUM TEXTURE - MEDIUM GRAY
- 08.05 PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
- 10.04 SUSPENDED BAR & OVERHEAD CLEAR HEIGHT SIGNAGE AT GARAGE RAMP ENTRANCE

AREA OF FOURTH LEVEL EXTERIOR WALL = 2,717 SF
 AREA OF FOURTH LEVEL EXTERIOR WALL GLAZING = 945 SF = 35% (15% MIN. REQ'D)

AREA OF THIRD LEVEL EXTERIOR WALL = 2,766 SF
 AREA OF THIRD LEVEL EXTERIOR WALL GLAZING = 930 SF = 34% (15% MIN. REQ'D)

AREA OF SECOND LEVEL EXTERIOR WALL = 2,735 SF
 AREA OF SECOND LEVEL EXTERIOR WALL GLAZING = 931 SF = 34% (15% MIN. REQ'D)

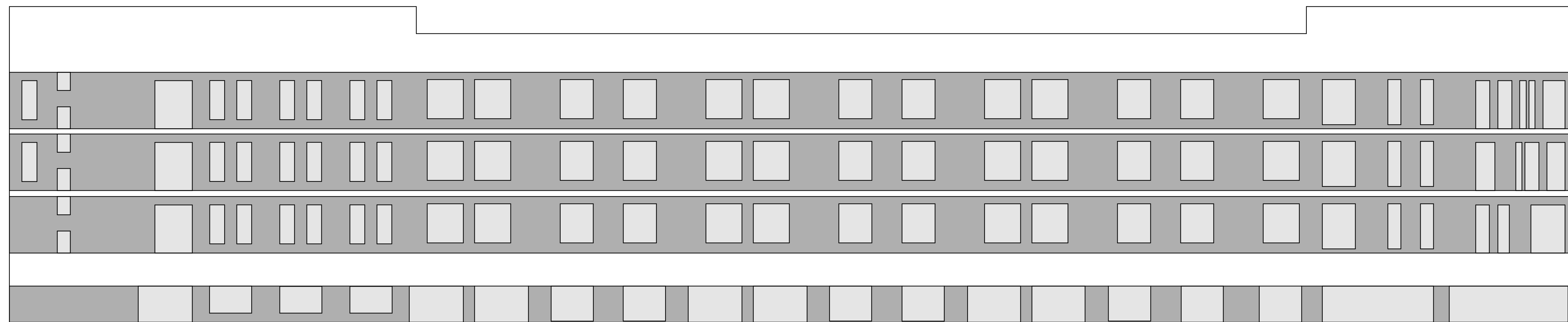
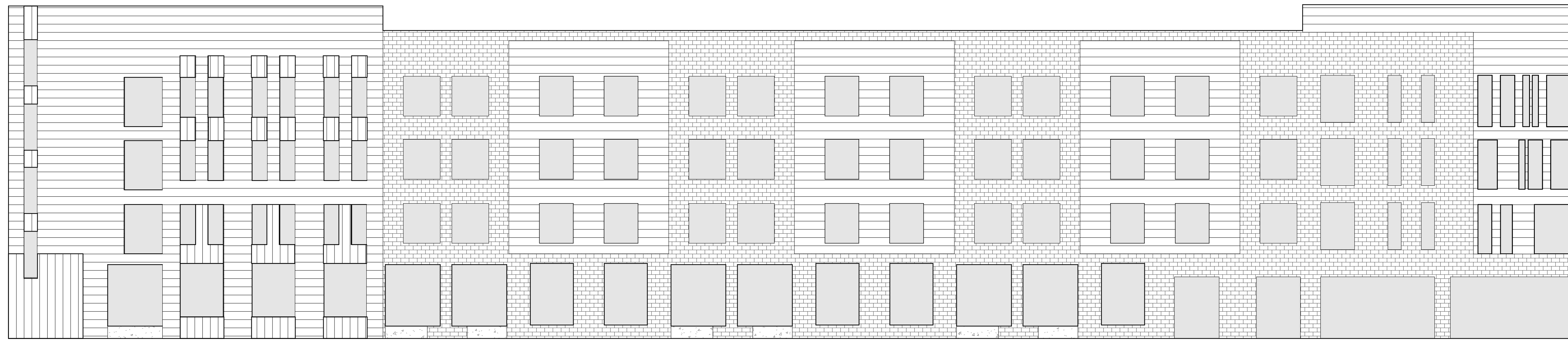
AREA OF MAIN LEVEL EXTERIOR WALL = 1,472 SF
 AREA OF MAIN LEVEL EXTERIOR WALL GLAZING = 879 SF = 60% (60% MIN. REQ'D)

*AREAS CALCULATED BETWEEN 2' AND 8' ABOVE SIDEWALK LEVEL

MARK	DESCRIPTION	Revision Date

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AREA OF EXTERIOR WALL: 13,183 SF
 AREA OF GLAZING: 4,121 SF = 31%
 AREA OF FIBER CEMENT SIDING: 4,641 SF = 35%
 AREA OF CONCRETE: 99 SF = 1%
 AREA OF SYNTHETIC WOOD: 478 SF = 4%
 AREA OF BRICK: 3,845 SF = 29%



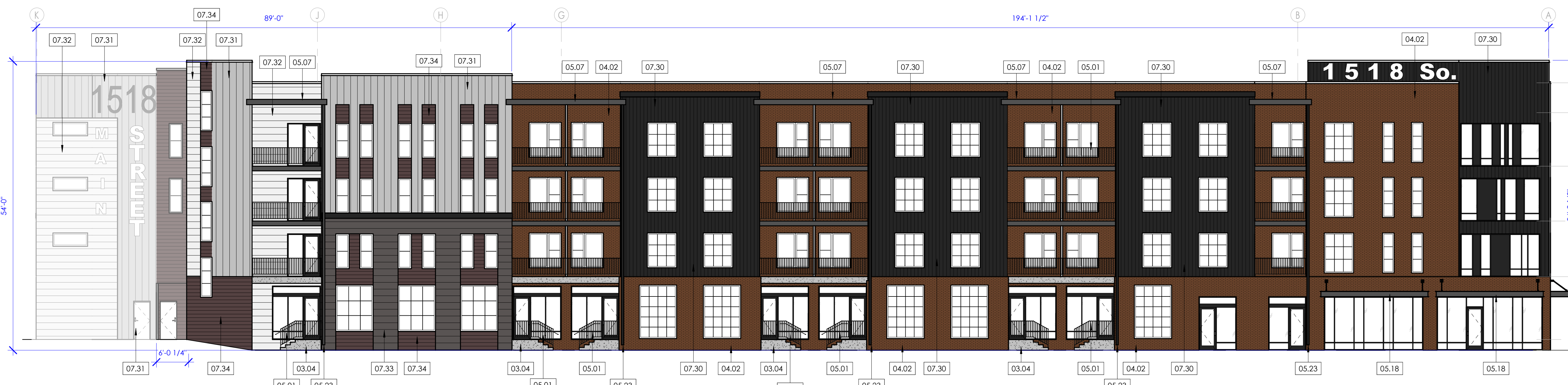
AREA OF FOURTH LEVEL EXTERIOR WALL = 2,449SF
 AREA OF FOURTH LEVEL EXTERIOR WALL GLAZING = 814 SF = 33%
 (15% MIN. REQ'D)

AREA OF THIRD LEVEL EXTERIOR WALL = 2,449 SF
 AREA OF THIRD LEVEL EXTERIOR WALL GLAZING = 814 SF = 33%
 (15% MIN. REQ'D)

AREA OF SECOND LEVEL EXTERIOR WALL = 2,449 SF
 AREA OF SECOND LEVEL EXTERIOR WALL GLAZING = 800 SF = 33%
 (15% MIN. REQ'D)

AREA OF MAIN LEVEL EXTERIOR WALL = 1,563 SF
 AREA OF MAIN LEVEL EXTERIOR WALL GLAZING = 987 SF = 63%
 (60% MIN. REQ'D)

*AREAS CALCULATED BETWEEN 2' AND 8' ABOVE SIDEWALK LEVEL



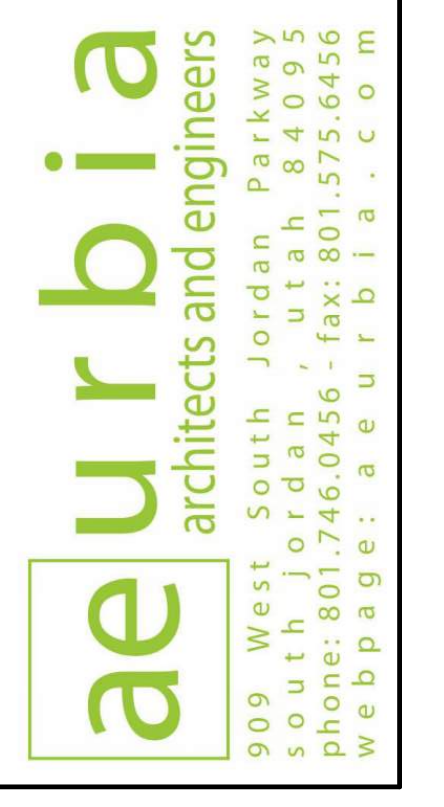
1 MAIN BUILDING - EAST ELEVATION
 A202 3/32" = 1'-0"

GENERAL NOTES

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KEYNOTE LEGEND

- 03.04 CAST-IN-PLACE CONCRETE WALL - NATURAL COLOR
- 04.02 BRICK/THIN BRICK - RED/BROWN TONES
- 05.01 42" STEEL GUARDRAIL - PAINT BLACK (2 COATS) - RAILING SHALL ATTACH TO STRUCTURE AT BASE AND AT TOP RAIL
- 05.07 CANOPY/ROOF - CHARCOAL
- 05.18 METAL AWNING/CANOPY - PAINT BLACK/CHARCOAL
- 05.23 PRE-FINISHED METAL DOWNSPOUTS - CHARCOAL
- 07.30 FIBER CEMENT SIDING - VERTICAL - BLACK
- 07.31 FIBER CEMENT SIDING - VERTICAL - MEDIUM GRAY
- 07.32 FIBER CEMENT SIDING - HORIZONTAL - LIGHT GRAY
- 07.33 FIBER CEMENT SIDING - HORIZONTAL - GRAY/BROWN
- 07.34 SYNTHETIC WOOD SIDING/PANEL - CHERRY WOOD



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MAIN STREET APTS
 1518 S MAIN ST
 SALT LAKE CITY, UTAH

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PLANNED DEVELOPMENT RESPONSE # 27 JULY 2023

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2 MAIN BUILDING - WEST ELEVATION
3/32" = 1'-0"



1 MAIN BUILDING - SOUTH ELEVATION
3/32" = 1'-0"

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KEYNOTE LEGEND

03.04	CAST-IN-PLACE CONCRETE WALL - NATURAL COLOR
04.02	BRICK/THIN BRICK - RED/BROWN TONES
05.01	42" STEEL GUARDRAIL - PAINT BLACK (2 COATS) - RAILING SHALL ATTACH TO STRUCTURE AT BASE AND AT TOP RAIL
05.05	BLACK VINYL COATED CHAIN LINK FENCE IN ALUMINUM FRAME AT GARAGE OPENINGS
05.06	72" TALL METAL FENCE AT POOL - PAINT BLACK (2 COATS) - RAILING SHALL ATTACH TO STRUCTURE AT BASE AND AT TOP RAIL
05.07	CANOPY/ROOF - CHARCOAL
05.23	PRE-FINISHED METAL DOWNSPOUTS - CHARCOAL
07.31	FIBER CEMENT SIDING - VERTICAL - MEDIUM GRAY
07.32	FIBER CEMENT SIDING - HORIZONTAL - LIGHT GRAY
07.33	FIBER CEMENT SIDING - HORIZONTAL - GRAY/BROWN
07.34	SYNTHETIC WOOD SIDING/PANEL - CHERRY WOOD
07.35	STUCCO - MEDIUM TEXTURE - LIGHT GRAY
07.36	FIBER CEMENT SIDING - VERTICAL - LIGHT BROWN
07.37	FIBER CEMENT SIDING - VERTICAL - DARK BROWN
07.38	FIBER CEMENT SIDING - HORIZONTAL - DARK BROWN
07.39	STUCCO - MEDIUM TEXTURE - MEDIUM GRAY

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7/28/2023 9:55:34 AM

MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	REVISION	SCHEDULE	DATE

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**EXTERIOR
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DATE: 7/28/2023
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PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

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VIEW FROM NORTHEAST CORNER OF MAIN ST. & ANDREW AVE.



VIEW FROM SOUTHEAST ALONG MAIN ST.



VIEW FROM NORTHWEST CORNER ALONG ANDREW AVE.

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MAIN STREET APTS
1518 S MAIN ST
SALT LAKE CITY, UTAH

MARK	DESCRIPTION	Revision Schedule	Revision Date

AE2022.395
**PERSPECTIVE
RENDERINGS**

DATE: 7/28/2023
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PLANNED DEVELOPMENT RESPONSE #2 27 JULY 2023

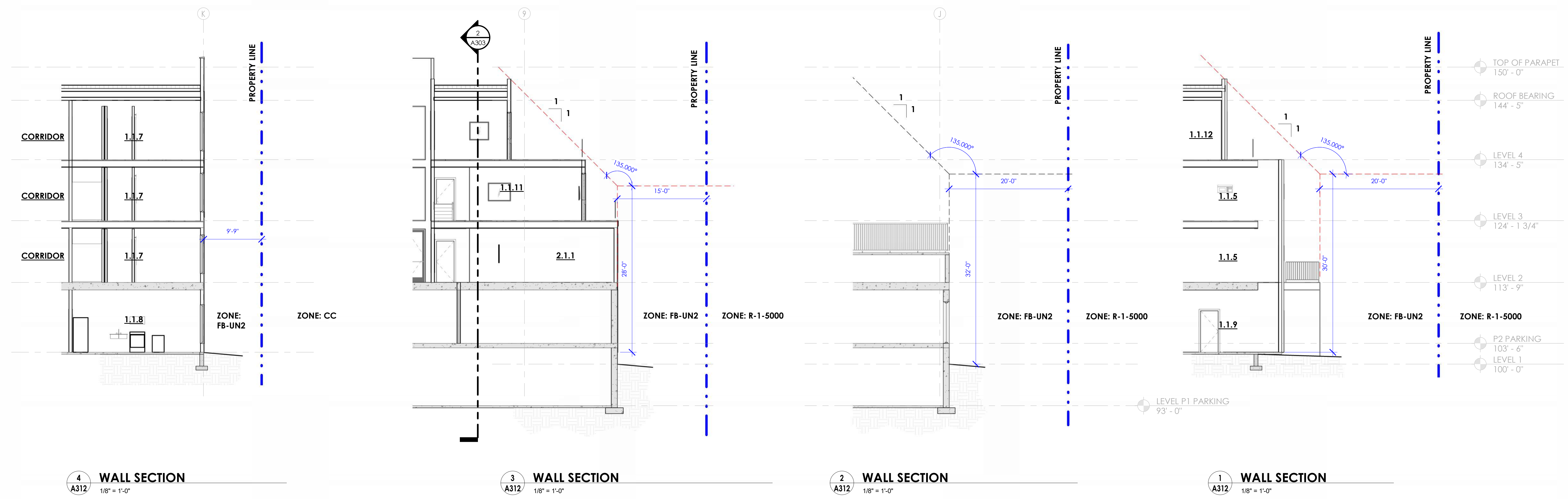
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KEYNOTE LEGEND

- TOP OF PARAPET 150' - 0"
- ROOF BEARING 144' - 5"
- LEVEL 4 134' - 5"
- LEVEL 3 124' - 1 3/4"
- LEVEL 2 113' - 9"
- P2 PARKING 103' - 6"
- LEVEL 1 100' - 0"
- LEVEL P1 PARKING 93' - 0"



4 WALL SECTION
1/8" = 1'-0"

3 WALL SECTION
1/8" = 1'-0"

2 WALL SECTION
1/8" = 1'-0"

1 WALL SECTION
1/8" = 1'-0"

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webpage: aeurbia.com

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MAIN STREET APTS
1518 S MAIN ST
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MARK	DESCRIPTION	Revision Date

AE2022.395
WALL SECTIONS

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